



16 June 2025

Notification of Development Application No. 2025/057

Site Description: Lot: 140 DP: 238018, 7 Ashford Street GUNNEDAH.

Notice is given that a Development Application has been submitted for Council's consideration that involves the construction of an enclosed shed and an attached carport varying the minimum side setback.

The address of the proposed development is 7 Ashford Street GUNNEDAH.

The applicant is Mr William Castles and Gunnedah Shire Council is the consent authority.

The Development Application has been placed on public exhibition for a period of **14** days. The documents may be inspected at Council's office during office hours 9am-4pm or on Council's website <http://www.gunnedah.nsw.gov.au/>.

Any person may make a written submission about this application to the General Manager, Gunnedah Shire Council, PO Box 63, Gunnedah NSW 2380 or via email council@gunnedah.nsw.gov.au. The issues you raise will be included in the evaluation of the development application, along with the other matters Council must consider.

Submissions should be received no later than 5.00pm on **30 June 2025**. All submissions must include disclosure of any reportable political contribution or gift made in the previous two years.

If the submission includes an objection to the proposal, the grounds of objection must be given. You are advised that you may request that your name and address not be disclosed by stating prominently "OBJECTION IN CONFIDENCE" on your submission for reason that disclosure would result in detriment to you. However, Council may be obliged to release these details under the Freedom of Information Act 1989 even if these words are used in the submission. Further, submissions that do not contain the author's name and address may not be considered as Council will be unable to validate the submissions authenticity.

If you have any enquiries in relation to this Development Application, please contact Council's Duty Planner on 02 6740 2100.

Yours faithfully

Wade Hudson
MANAGER DEVELOPMENT ASSESSMENT

Contact: 02 6740 2100
Reference: 2025/057
ld

Development Consent Cover Sheet – Council's Use

Made under the Environmental Planning & Assessment Act.1979

LAST UPDATED 23 JULY 2021

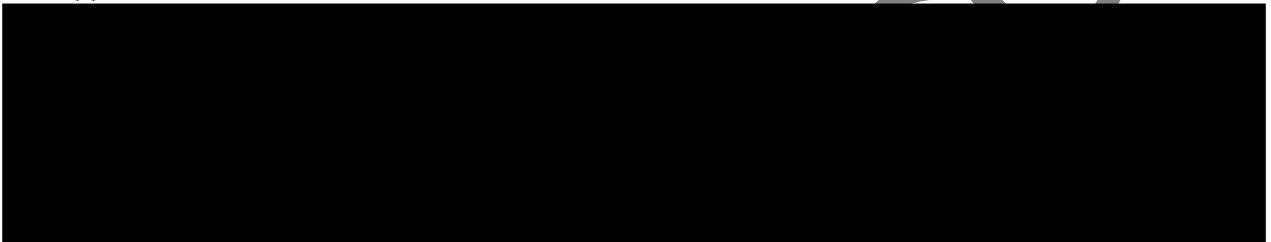
Date: 06/06/2025

DEVELOPMENT APPLICATION NUMBER

Development Application Number: 10.2025.00000057.001

APPLICANT DETAILS

Name(s): W Castles



LAND TO BE DEVELOPED

Address: 7 Ashford Street

Lot Number: 140 DP Number: 238018 Site Area:

BRIEF DESCRIPTION AND USE OF PROPOSED DEVELOPMENT

Shed & Carport

Variation to DCP - Setbacks

PROPOSED DEVELOPMENT DETAILS

- ☒ Local Development
- ☐ Integrated Development (requires approval under another Act)
- ☐ Designated Development (requires an EIS to be submitted)

Total Project Value: \$39,502.000

Applicant contact details

First given name	William
Other given name/s	
Family name	Castles
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	No

Owner/s of the development site

Owner/s of the development site	There are one or more owners of the development site and the applicant is NOT one of them
Owner #	1
Title	
First given name	William
Other given name/s	
Family name	Castles
Contact number	
Email	[REDACTED]
Address	[REDACTED]
Owner #	2
Title	
First given name	Jacqui
Other given name/s	
Family name	Castles
Contact number	
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	Yes
Provide details	Please contact land owner for site inspection.

Developer details

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

Development details

Application type	Development Application
Site address #	1
Street address	7 ASHFORD STREET GUNNEDAH 2380
Local government area	GUNNEDAH
Lot / Section Number / Plan	140/-/DP238018 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	Land Application LEP Gunnedah Local Environmental Plan 2012 Land Zoning R2: Low Density Residential Height of Building NA Floor Space Ratio (n:1) 0.5:1 Minimum Lot Size 650 m² Heritage NA Land Reservation Acquisition NA Foreshore Building Line NA

Proposed development

Selected common application types	Erection of a new structure
Selected development types	Shed Carport
Description of development	construction of an enclosed outbuilding and and attached carport.
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Existing gross floor area (m2)	0
Proposed gross floor area (m2)	0
Total site area (m2)	0
What is the estimated development cost, including GST?	\$39,502.00
Estimated development cost	\$39,502.00
Do you have one or more BASIX certificates?	
Subdivision	
Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	No

Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	Yes
Have you already applied for approval under s68 of the Local Government Act?	No
Would you like to apply for approval under s68 of the Local Government Act?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	Yes
Please provide a description of the proposed tree removal and/or pruning work	Removal of 1 planted bottlebrush, which is not a locally native species.
Number of trees to be impacted by the proposed work	1
Land area to be impacted by the proposed work	
Units	
Approximate area of canopy REQUESTED to be removed	1
Units	Square metres
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the	No

council assessing the application?	
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	Development on land wholly in RU1, RU2, RU3, E5, IN3, C1, C2, C3, W1, W2, W3 or W4

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid.

First name	William
Other given name(s)	
Family name	Castles
Contact number	
Email address	
Billing address	

Application documents

The following documents support the application.

Document type	Document file name
Cost estimate report	6002_ESTIMATED COST OF WORKS
Other	6002_DA Letter 6002_Ranbuild Plans_Shed Elevations 6002_Ranbuild Plans_Shed Floor Plan 6002_Ranbuild Plans_Carport Elevations 6002_Ranbuild Plans_Carport Floor Plan
Owner's consent	CamScanner 30-05-2025 17.07
Site Plans	6002_Site Plan A3 May 2025
Statement of environmental effects	SoEE

Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
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I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

EXHIBITION COPY

30 May 2025
Our Ref: 6002

The General Manager
Gunnedah Council
63 Elgin Street
GUNNEDAH NSW 2380

Dear Sir,

**DEVELOPMENT APPLICATION FOR PROPOSED SHED ON LOT 140 IN DP238018
7 ASHFORD STREET, GUNNEDAH**

Client: Bill Castles
Property Address: 7 Ashford Street, Gunnedah
Title Particulars: LOT 140 IN DP238018
Valuer General Property Number: 1848743
Property Area: 877 m²
Zoning: R2 Low Density Residential, Gunnedah Local Environmental 2012
Minimum Lot Size: 650 m²
Current Land Use: Residential

Proposed Development

The proposed development involves the construction of an enclosed outbuilding measuring 5.5 meters by 5.9 meters, encompassing a total floor area of 32.45 square meters, and construction of an attached carport measuring 6 meters by 6 meters, with a total floor area of 36 square meters.

The following site plans are provided to support this development application:

Site Plan

- Sheet 1 - Site Plan for Proposed Shed on Lot 140 DP238018, 7 Ashford Street Gunnedah, dated: 25 May 2025, prepared by Stewart Surveys Pty

Outbuilding Plans

- Sheet 1 & 2 Floor Plan and Elevations, Deluxe 5900 Span x 2400 Eave x 5500 Long, ref. TAMW05-3016 & RSP-3016, Rev A, prepared by Ranbuild for Bill Castles

Development Consultants - Surveying, Environmental & Landscape Architecture Services

Stewart Surveys Pty Ltd
ABN 65 002 886 508

109 Conadilly Street
PO Box 592
Gunnedah NSW 2380

T 02 6742 2966
office@stewartsurveys.com
www.stewartsurveys.com

Carport Plans

- Sheet 1 Gable Carport Post Location Plan, Gable Carport 6000 Span x 2600 Eave x 6000 Long, ref. RSP3017, Rev A, prepared by Ranbuild for Bill Castles
- Sheet 1 Floor Plan and Elevations, Gable Carport 6000 Span x 2600 Eave x 6000 Long, ref. TAMW05-3017, Rev A, prepared by Ranbuild for Bill Castles

Identification Survey

- Identification Survey for Proposed Shed on Lot 140 DP238018, 7 Ashford Street Gunnedah, dated: 3 June 2024, prepared by Stewart Surveys.

Statement of Environmental Effects

- Statement of Environmental Effects Single Dwelling Houses, Residential Ancillary & Outbuilding Developments Only, prepared by the Client Bill Castles.

SUPPORTING INFORMATION

Preliminary Development Advice

Preliminary development advice was sought for this application (Ref. 2267153). In response to the feedback received, the applicant has reduced the proposed outbuilding size from 6.0 x 7.0 meters to 5.5 x 5.9 meters to ensure general compliance with the Gunnedah Development Control Plan. Below, we have addressed the provisions outlined in the development advice letter as they relate to this application. A copy of the Preliminary Development Advice Letter is appended for reference.

Intended use of the outbuilding

The outbuilding is ancillary to the residential use of the site and is intended for storage, as well as woodworking and electronic hobbies. The existing residence currently includes a single garage and a small garden shed at the rear, which is used for storing garden supplies and a lawn mower. This garden shed complies with the State Environmental Planning Policy (Exempt and Complying Development Code) 2008 and, as such, is not included in the cumulative building area.

Gunnedah Local Environmental Plan 2012 – Land Zoning

The subject land is zoned R2 Low Density Residential (refer to Figure 1) in accordance with the Gunnedah Local Environmental Plan 2012 (GLEP, 2012). This zoning classification is intended to accommodate residential development that maintains a low density and suburban character. The land use table associated with this zoning permits outbuildings that are ancillary to a dwelling, subject to obtaining the necessary development consent. This provision supports the construction of structures such as garages, carports, sheds, and workshops that complement the primary residential use of the site, provided they comply with relevant planning controls and standards.

The proposed development aligns with these requirements as the outbuilding is clearly ancillary to the existing residential use of the site. It is designed to serve as additional storage and workspace for hobbies, thereby supporting the primary function of the dwelling without compromising the low-density residential character of the area. The development generally complies with the provisions set forth in the zoning and planning framework of the Gunnedah Development Control Plan, 2012 and Gunnedah Local Environmental Plan, 2012 as outlined in this report.

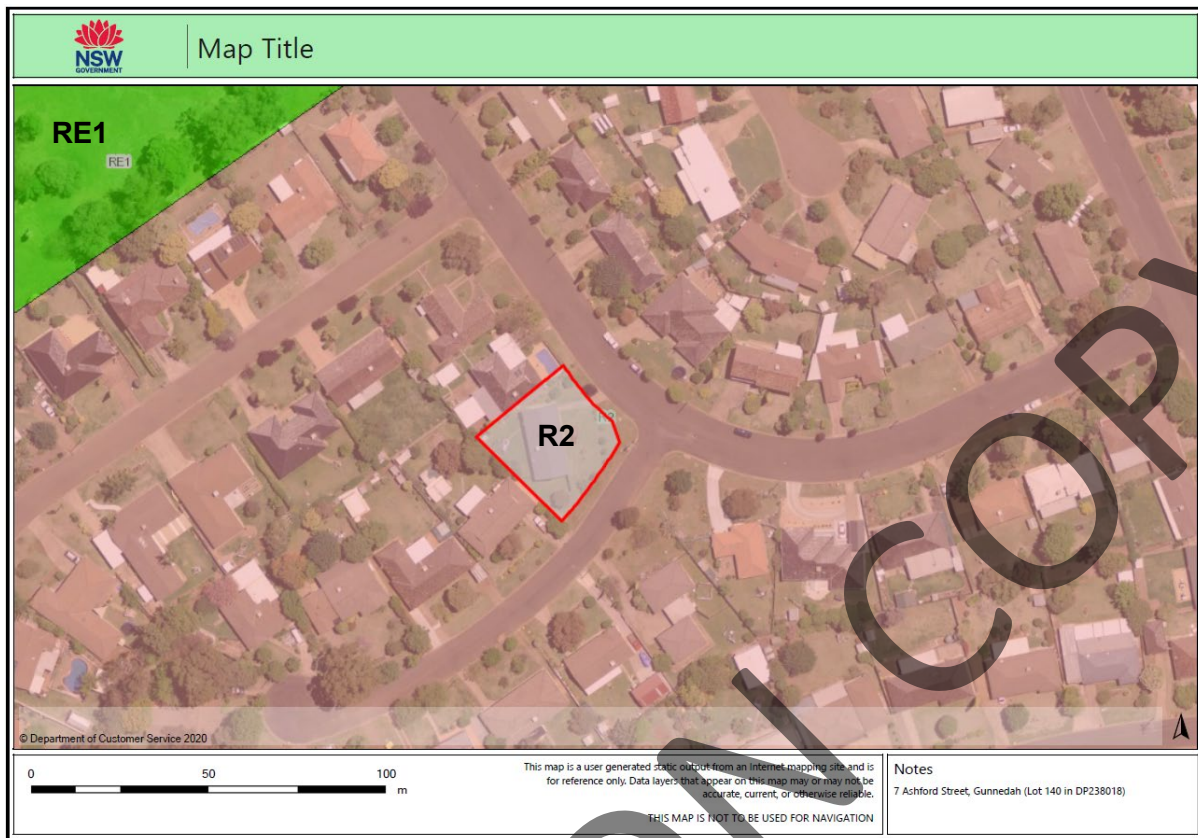


Figure 1: Land Zoning Map (NSW SEED Portal)

The objectives of the R2 Low Density Residential Zone are:

- To enable land uses that provide facilities or services to meet the day-to-day needs of residents.
- To provide for low density housing while maintaining environmental or scenic landscape qualities of the land that would not be sustainable with higher densities of development.
- To minimise the impact of non-residential uses and ensure these are in character and compatible with surrounding development.
- To provide for the housing needs of the community within a low-density residential environment.

The proposed development to construct an outbuilding and a carport is ancillary to the residential use of the land, it provides facilities for the residents to meet their day to day needs and maintains the low density development in the area, without compromising any scenic or landscape values. We believe the proposed development is consistent with the objectives of the Gunnedah Local Environmental Plan, 2012.

Gunnedah Local Environmental Plan 2012 Clause 4.4 – Floor Space Ratio

Council's Floor Space Ratio (FSR) map identifies that the proposed development site has a Floor Space ratio of 0.5:1. To comply with this clause the total floor area of all the buildings on the site must not exceed 438.5m². The existing residence has a floor area of 152.7m² and the new buildings in this application total 68.45m². Therefore, the floor space ratio is approximate 0.25:1 and the development is consistent with the floor space ratio provisions of the GLEP, 2012 for the site.

Gunnedah Local Environmental Plan 2012 Clause 6.5 – Essential services

The subject site contains an existing residence with essential services of reticulated water and sewer to the site. There is an overhead power connection and telecommunications connection to the dwelling and stormwater is pipe to the kerb and gutter with a large kerb inlet pit located on Cushions Avenue at the intersection with Ashford Street. There are no water or sewer connections proposed in the new buildings. Stormwater management works associated with the development will require approval and inspection under a Section 68 application, which will be submitted to Council for review and approval. All stormwater will be piped to the gutter in the respective street frontages.

Electrical connection to the outbuilding will be provided by an extension underground from the existing electrical services, to be carried out by a licensed electrician.

The subject site is already connected to essential services and this development will have a negligible impact on council's infrastructure.

Site Access

The site has dual frontage to Ashford Street and Cushan Avenue, both of which are sealed public roads providing vehicular and pedestrian access. Currently, there is an existing vehicle access point located on the Ashford Street frontage, as illustrated in Figure 2. As part of the proposed development, this access will be widened to 5.7 metres to accommodate vehicular movements to and from the new carport, ensuring safe and efficient entry and exit for vehicles. The widening will comply with the Gunnedah Council standard Residential Driveway detail, and is widened on the site of the driveway furthest from the intersection with Cushions Avenue.

There is no driveway access to the shed proposed. The roller doors are to enable access to the rear yard, which will be block by the outbuilding. No vehicle storage is proposed in this building. We believe the widening of an existing driveway aligns with council's policies and does not compromise traffic on Ashford Street or at the intersection with Cushions Avenue. The proposed development does not generate any additional traffic at the site after the construction phase.



Figure 2: Residence and Existing Driveway access from Ashford Street

State Environmental Planning Policies (SEPPS)

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 – Vegetation in Non-rural Areas

It is proposed to remove one planted Bottlebrush (*Callistemon sp.*). This is not a locally native species and is not part of an endangered ecological community. A permit to remove this tree is requested by chapter 2 of the SEPP.

Chapter 3 & 4 – Koala Habitat

The site does not form part of Koala Plan of Management and as the site is less than one hectare, chapters 3 and 4 of the SEPP does not apply. There are no other chapters of this SEPP applicable to this application.



Figure 3: Site Photo of tree to be removed



Figure 4: View of proposed shed site and existing Bottlebrush to be remove

State Environmental Planning Policy (Resilience and Hazards) 2021

State Environmental Planning Policy (Transport and Infrastructure) 2021

The development site is not located within 90 metres of the Kamilaroi Highway, which is a classified road, and the proposed development is not an activity listed within Schedule 3 of this SEPP as being traffic generating development. Hence, under Chapter 2 of *State Environmental Planning Policy (Transport and Infrastructure) 2021*, the development does not require referral to Transport for NSW as Council is the road authority.

Gunnedah Development Control Plan

The following tables demonstrate compliance with the Gunnedah Development Control Plan clause 2.1.8 Outbuildings, Carports and Detached Garages. The image in Figure 5 show the character of the proposed outbuilding and the site plans and elevations enclosed with this application demonstrate the features of each building.



Figure 5: Site Photo of tree to be removed

Clause	DCP Requirement	Site Application
2.1.8 Outbuildings, Carports and Detached Garages	<p>Outbuildings, carports and detached garages are not permitted within the setback and in front of the main dwelling if the lot size is less than 4,000m². If the outbuilding, carport or detached garage is in front of main dwelling (<4,000m²lot), they must be;</p> <ul style="list-style-type: none">• Same construction,• Matching roof pitch, and• Appear like part of the habitable dwelling.	<p>The proposed outbuilding is set behind the building line on Ashford Street, which is the main street the residence addresses.</p> <p>The cladding of the shed will be cream colourbond to colour matched to the bricks of the house. The outbuilding is also orientated so the roof pitch matches the residence. We believe these features will meet the development control and create an attractive outbuilding with variation in the façade created by the roller doors and windows on two facades.</p>

	The wall cladding of outbuildings, carports and detached garages shall be either face brick, painted or pre-coloured.	The carport is set in front of the building line as address in 2.1.8a
2.1.8a Discretionary Development Standard	<p>i) Outbuildings and Garages may be setback a minimum of 5.5 metres from the front or side building line.</p> <p>ii) Carports may be setback a minimum of 1.5 metres from the front or side building line.</p> <p>iii) Roof profiles shall compliment the concessional setback and the architectural articulation component within the elevation.</p>	<p>The proposed outbuilding is setback 5.5m on the south eastern corner and 5.1m on the north eastern corner. The shed is set square to the southern boundary and as the front boundary is arced a straight offset is not achievable. Variation to this clause is requested on the basis variation is minor (7%).</p> <p>The proposed carport is setback 2m from the front boundary of the site at the closest point. The roof profile is pitched to compliant the residence and provide architectural articulation as shown in the elevations.</p>
2.1.8b Discretionary Development Standard	i) Outbuildings, Carports and detached Garages may have a maximum size less than and/or equal to the cumulative building size if there are no other outbuildings, carports or detached garages located on the site.	Not applicable as the maximum size is not exceeded on the subject site.
2.1.8c Discretionary Development Standard	<p>i) Maximum length of the longest side of an Outbuildings, Carports and detached Garages may be no more than two-thirds of the length of the property boundary to which the longest side is parallel/adjacent.</p> <p>ii) The maximum size shall be less than and/or equal to the cumulative buildings size if there are no other outbuildings, carports or detached garages on the site.</p>	Not applicable as the building complies with the clause.

Zone	Maximum Size	Cumulative Buildings	Maximum Length of One Horizontal Dimension	Maximum Wall Height at Eaves Line	Maximum Roof Pitch	Maximum Height
DCP REQUIREMENTS						
R2	52m ²	72m ²	9m	3.3m	24°	4.2m
PROPOSED OUTBUILDING						
	32.45m ²	68.45m ²	5.9m	2.4m	15°	3.191m
PROPOSED CARPORT						
	36m ²	68.45m ²	6m	2.4m	10°	3.129m

Both buildings comply with the size requirements for outbuildings in the Gunnedah Development Control Plan. A minor variation is requested to the setback from the side street, Cushions Avenue of 5.1m we believe this minor variation does

not compromise the development meeting the low density character of the area. We note that in some areas of Gunnedah setback of 3.6m applies to lots with dual frontages on the side street, although not applicable to this site. Landscaping proposed by the land owner will soften the development and create an aesthetic view across the site. Figure 6 shows the existing hedge at the intersection of Ashford Street and Cushions Avenue which will screen the proposed outbuilding. We also believe that as there is no driveway proposed to this outbuilding no cars will be parked in front of the building and the soft landscaping created by lawn will retain a gardenesque setting typical of low density residential areas.



Figure 6: View of the site from the intersection of Ashford Street and Cushions Avenue showing Landscape screening which is proposed to be retained.

The applicant has prepared a statement of environmental effects for this development. With approval to the minor variation on the setback of the proposed outbuilding on the site, we believe this application meets the council development control plan and policies and can be supported. It is requested that council assess this application on its merits and recommend for approval.

Yours faithfully

STEWART SURVEYS PTY LTD

Kathryn Stewart

Kathryn Stewart
BLArch (UNSW), MEnvMgmt (UNSW)
Registered Landscape Architect #001493

Gunnedah

Shire Council



Owners Consent

Made under the *Environmental Planning and Assessment Act 1979* and *Local Government Act 1993*

ABOUT THIS FORM

You can use this form to demonstrate that all owners have consented to the lodging of an application where Council is the consent authority.

LAND RELATING TO THE APPLICATION

Address: 7 Ashford Street

Town/Suburb: Gunnedah

State: NSW

Postcode: 2380

Lot Number: 140

Section Number:

DP Number: 238018

OWNERS DETAILS

Name(s): Bill Castles

I/WE, THE OWNER(S) GIVE CONSENT TO

Nominated Agent: Stewart Surveys Pty Ltd

TO ACT ON MY/OUR BEHALF TO

- Lodge all relevant applications for development consent, CCs, CDCs, Subdivision Works Certificates, Subdivision Certificates, Appointment of Principal Certifier, Building Information Certificates, Occupation Certificates, Planning Proposal and Section 68 Applications.
- Have discussions with all relevant authorities.
- Do all things required to be done or provide all information and documents necessary to obtain such approvals.
- Where applicable, withdraw the application/s and obtain a refund of relevant fees paid.

CONSENT OF ALL OWNERS

As the owner(s) of the property, I/we consent to this application to apply for approval to carry out the development described herein and state that the information contained herein is, to the best of my/our knowledge, true and correct. I/we hereby give permission for Council authorised personnel to carry out inspections of the land and buildings as necessary for the purpose of assessing this application without prior notice of entry.

Name: William (Bill) Castles (Corporation) Capacity:

Signature: [Signature] Date: 30/05/25

Name: Jacqui Castles (Corporation) Capacity:

Signature: [Signature] Date: 30/5/25

Note: If ownership is under a company/corporation name, please provide evidence that the signatory on the application has the authority to sign on behalf of the company, by providing authority on company letterhead.

Statement of Environmental Effects

SINGLE DWELLING HOUSES, RESIDENTIAL ANCILLARY & OUTBUILDING DEVELOPMENTS ONLY

LAST UPDATED 15 AUGUST 2023

INTRODUCTION

A Statement of Environmental Effects is to be submitted with all development applications other than "designated development" or proposals having negligible environmental impact, eg internal alterations. This form is to be used for single dwelling houses, residential ancillary & outbuilding developments only. All other developments require a detailed, site specific Statement of Environmental Effects.

This Statement of Environmental Effects is not exhaustive and should be augmented where appropriate. If insufficient space has been provided, please attach additional sheets.

Please place a tick (✓) in the appropriate box.

SITE AND CONTEXT SUITABILITY

	YES	NO
Is the development compatible with the land zoning?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the development compatible with adjoining development?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does your application include a site plan illustrating the topography of the development site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Describe the topography of the site (eg slope of the land, existing vegetation, groundwater issues, orientation of dwelling, streetscape and setbacks etc)

3 bed single story dwelling. Angled across rear of property. Slight slope running south to north. All vegetation is introduced.

PRESENT AND PREVIOUS USES

What is the current use of the site?

Residential

Has there been any other land use other than that listed above?

House built approx 1970

What is the use of the adjoining land?

Residential

	YES	NO
Is the present use a potentially contaminated activity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Was the previous use a potentially contaminated activity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Has there been any testing or assessment of the site for land contamination?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Have any of the following land uses or activities been undertaken on the site:		
• Service station	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Sheep or cattle dip	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Intensive agriculture	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Mining or extractive industry	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Waste storage or waste treatment	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Manufacture of chemicals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Asbestos or asbestos products	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Other - Refer to State Environmental Planning Policy (Resilience and Hazard) 2021	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If a "Yes" answer is given above, please provide details:

.....

.....

Could the proposal result in soil contamination? ☐ YES ☒ NO

ELECTRICITY

Where will electricity be accessed from?

Meter box on the south face wall of the dwelling

ACCESS AND TRAFFIC

	YES	NO
Is there adequate provision for vehicle access to a public road?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Will the proposal generate traffic?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If "yes" a traffic impact assessment report should be prepared and submitted.		

What road will the site be accessed from? (road name, existing entrance location, etc)

Ashford St

Will local traffic movements and volumes be affected?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is existing servicing inadequate?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Will additional access requirements be needed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is there an attached garage with a minimal 2 spaces or has parking arrangements been made for such spaces parking?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

What is the current formation of the existing access?

Single road access from Ashford St to single car garage



WATER AND DRAINAGE

Where will water be sourced from?

- Town Supply
- Rainwater Tank
- Bore

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

How will stormwater be disposed from the site?

- Street
- Onsite retention

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Are inter-allotment drainage easement across a downstream property required?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Will the proposed design increase stormwater runoff or adversely affect flooding on other land?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Does the development site contain an existing rainwater tank that is currently being utilised?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

If disposal of stormwater is on site, describe disposal system.

.....

.....

Are measures in place to maximise infiltration and minimise water runoff?
(eg groundcover, banks, stormwater reuse, low water demand, native plants)

<input checked="" type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------

PRIVACY, VIEWS AND SUNLIGHT

Will the proposal affect the amenity of surrounding residences by:

- Overshadowing
- Loss of privacy

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

WASTE MANAGEMENT SYSTEM

How will effluent be disposed of?

- Onsite
- Sewer

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Will the proposal lead to direct discharges of stormwater or waste water into a natural water system?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

Will other wastes be generated by this development?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

Does the site plan include the location of any proposed onsite waste management system?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

HERITAGE

Is a heritage item located on the development site?

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

Is the development site located in a heritage conservation area?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

Is the development site an archaeological or potential archaeological site?
(eg having Aboriginal Heritage significance)

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------



ENVIRONMENTAL IMPACTS

SOIL

YES NO

Will excavation and/or filling be required?

☒☐

Slopes of greater than 15% require a geotechnical report. Is the slope is greater than 15%?

☐☒

Are suitable retaining walls or vegetated earth batters to be installed?

☐☒

HABITAT

Will the proposal involve the removal of vegetation?

☒☐

If vegetation is to be removed, how much area of vegetation will be removed?

(this area should be measured based on canopy size and includes areas that may be affected by access driveways, installation of services, operation of Onsite Sewerage Management Systems, APZ, etc)

Removal of one tree to clear site for construction

Could the proposal affect native vegetation or animal habitats?

☐☒

(Zones other than RU1, RU4, RU6 and C3)

Does the development have low or nil impact on koalas or koala habitat?

☒☐

Refer to State Environmental Planning Policy (Biodiversity and Conservation) 2021, Clause 4.9

For lots within the RU1, RU4, RU6 and C3 zones a Koala Assessment Report is Required in accordance with Chapter 3 of State Environmental Planning Policy (Biodiversity and Conservation) 2021

HAZARDS

YES NO

Is the site subject to natural hazards such as:

- Subsidence
- Other

☐☒☐☒

FLOOD PRONE LAND

YES NO

Is the site subject to flooding?

☐☒

If "yes", detailed levels are to be provided with the application as part of a Flood Survey Plan.

AQUACULTURE

YES NO

Is the development located closer than 40m from a natural water course or body of water?

☐☒

BUSHFIRE PRONE LAND

YES NO

Has the land been identified as Bushfire Prone Land on the Gunnedah LGA in accordance with the Bushfire Prone Land Map 2003?

☐☒

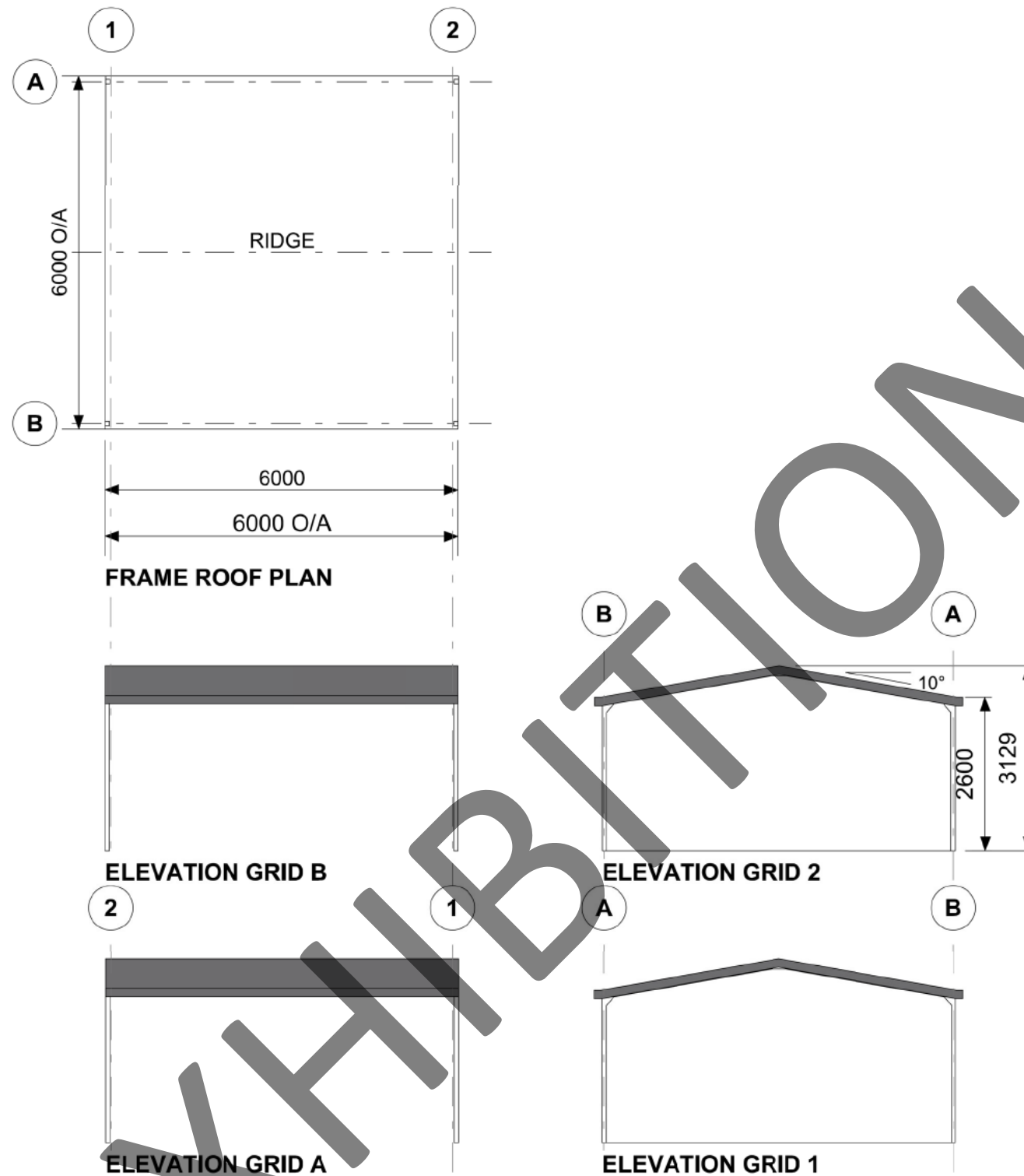
If "yes", the development will need to take into consideration the policy "Planning for Bushfire Protection" (NSW Rural Fire Service).

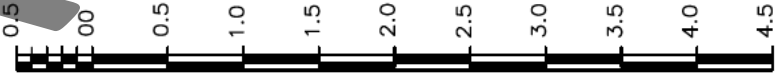
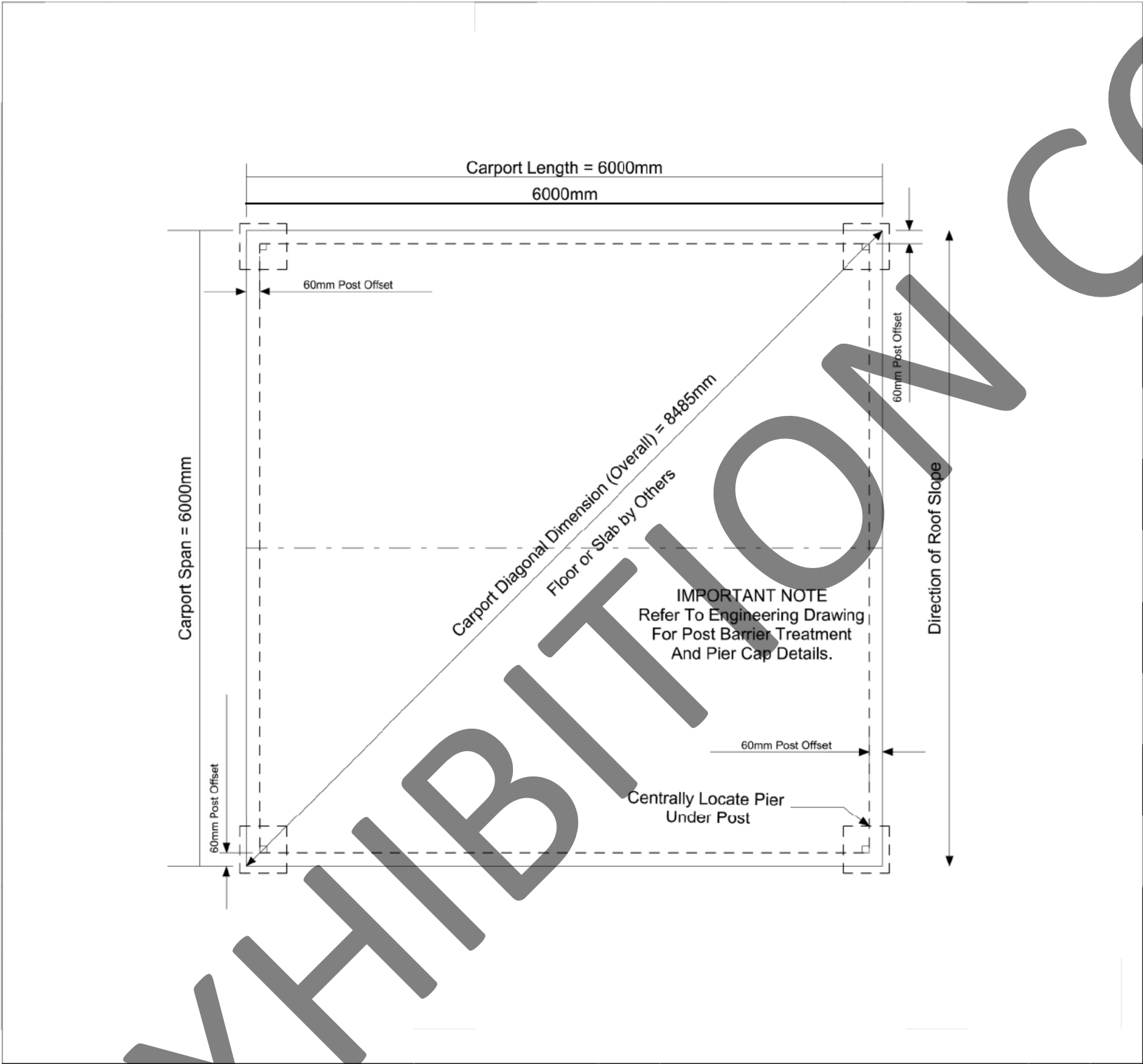
SIGNED

Author's Name: William Castles

Author's Signature:  Date: 26/05/2025

SCALE A4 SHEET 1:125	DRAWING NUMBER TAMW05-3017	REV A	PAGE 1/1
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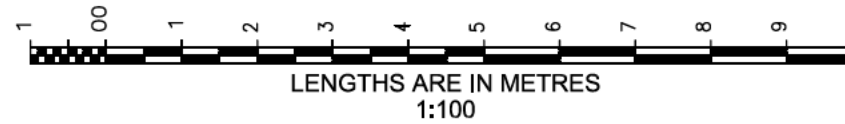
REDUCTION RATIO
1:50



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Solutions Pty Ltd
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NOTES
ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED
PRIOR TO COMMENCEMENT OF ANY WORKS.
SEE ERECTION INSTRUCTIONS AND ENGINEERING FOR
SECTION & SLAB DETAILS

CLIENT Bill Castles			
SITE 7 Ashford street GUNNEDAH NSW 2380			
BUILDING GABLE CARPORT 6000 SPAN x 2600 EAVE x 6000 LONG			
TITLE CARPORT POST LOCATION PLAN			
SCALE NTS	DRAWING NUMBER RSP-3017	REV A	PAGE 1/1



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CLADDING

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	BY
WALLS	CUSTOM ORB 0.42 BMT	CB	CC
CORNERS	-	CB	CC
BARGE	-	CB	BY
GUTTER	SHEERLINE	CB	BY
DOWNPIPE	100x50	CB	CC

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
2	RD1	B&D, Firmadoor, R.D, Residential "R1F", 2000 high x 2400 wide Clear Opening C/B
1	KAD1	Larnec Dr & Frm Kit, 200/47. 2040 x 820 suit Horiz CO, 22 TS (D)
2	KWN1	AMI - Reg A & B, 790x1274 CLR, Window Kit Hori. Clad 22 TS (D)

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

CLIENT

Bill Castles

SITE

**7 Ashford street
GUNNEDAH NSW 2380**

BUILDING

**DELUXE
5900 SPAN x 2400 EAVE x 5500 LONG**

TITLE

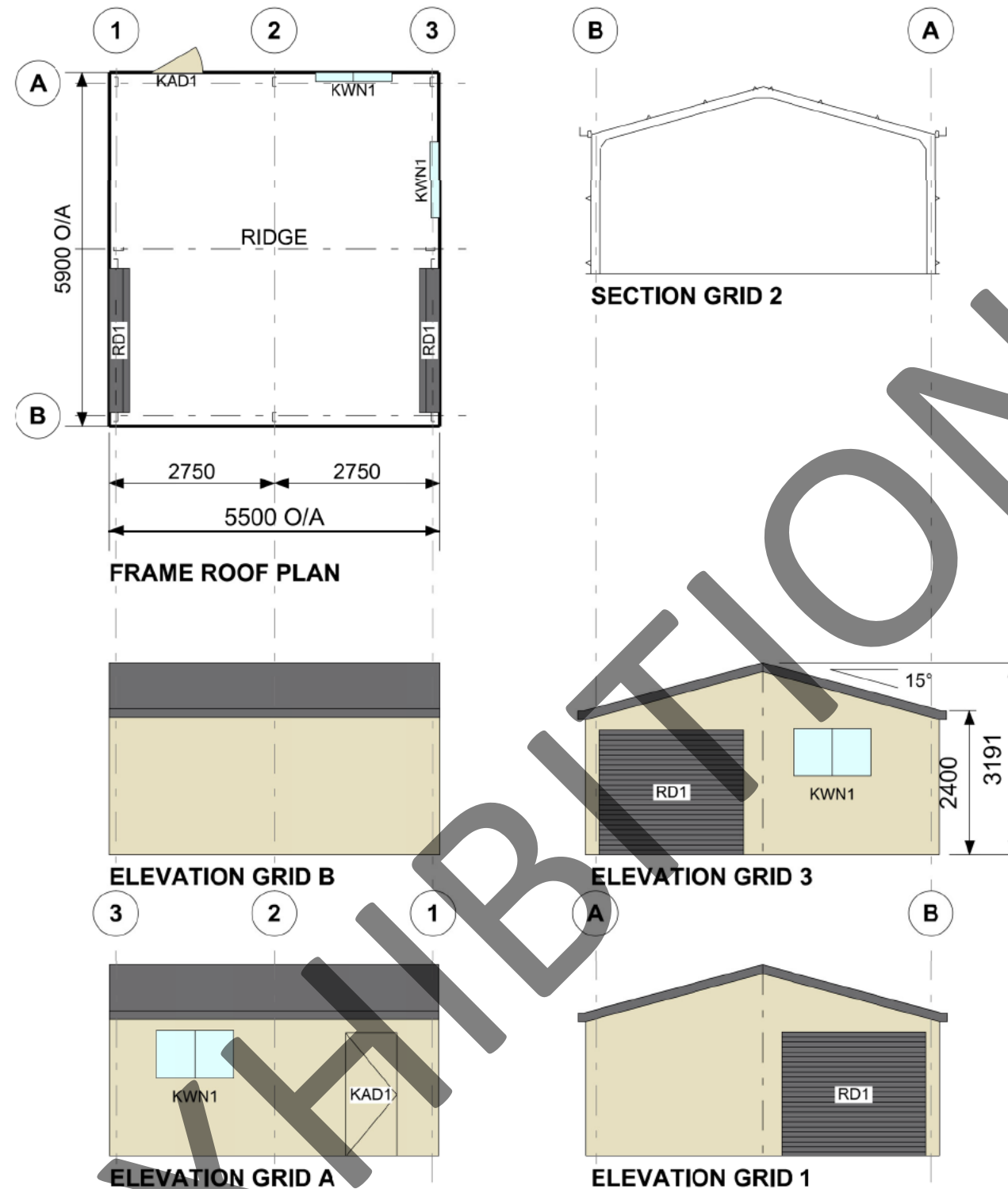
FLOOR PLAN & ELEVATION

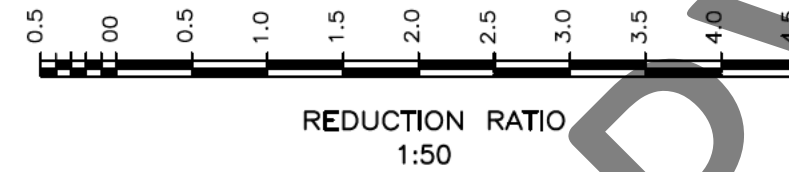
SCALE
A4 SHEET 1:125

DRAWING NUMBER
TAMW05-3016

REV
A

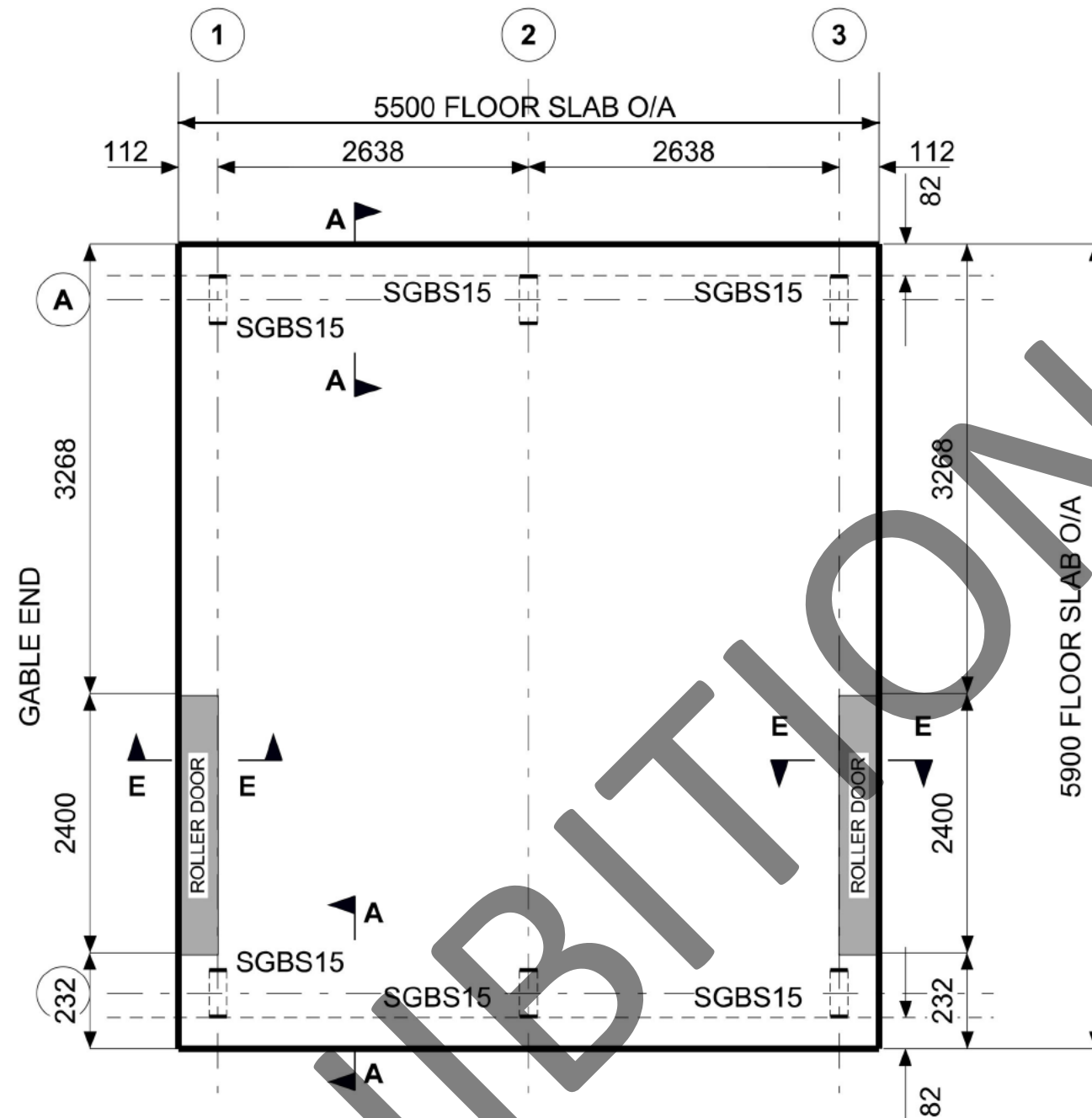
PAGE
1/1





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BASE STRAP & HD BOLT SCHEDULE
6 REQ'D BASE STRAP SGBS15

REV
A

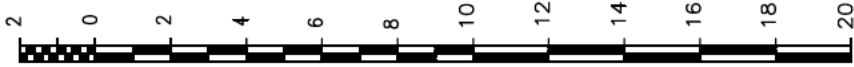
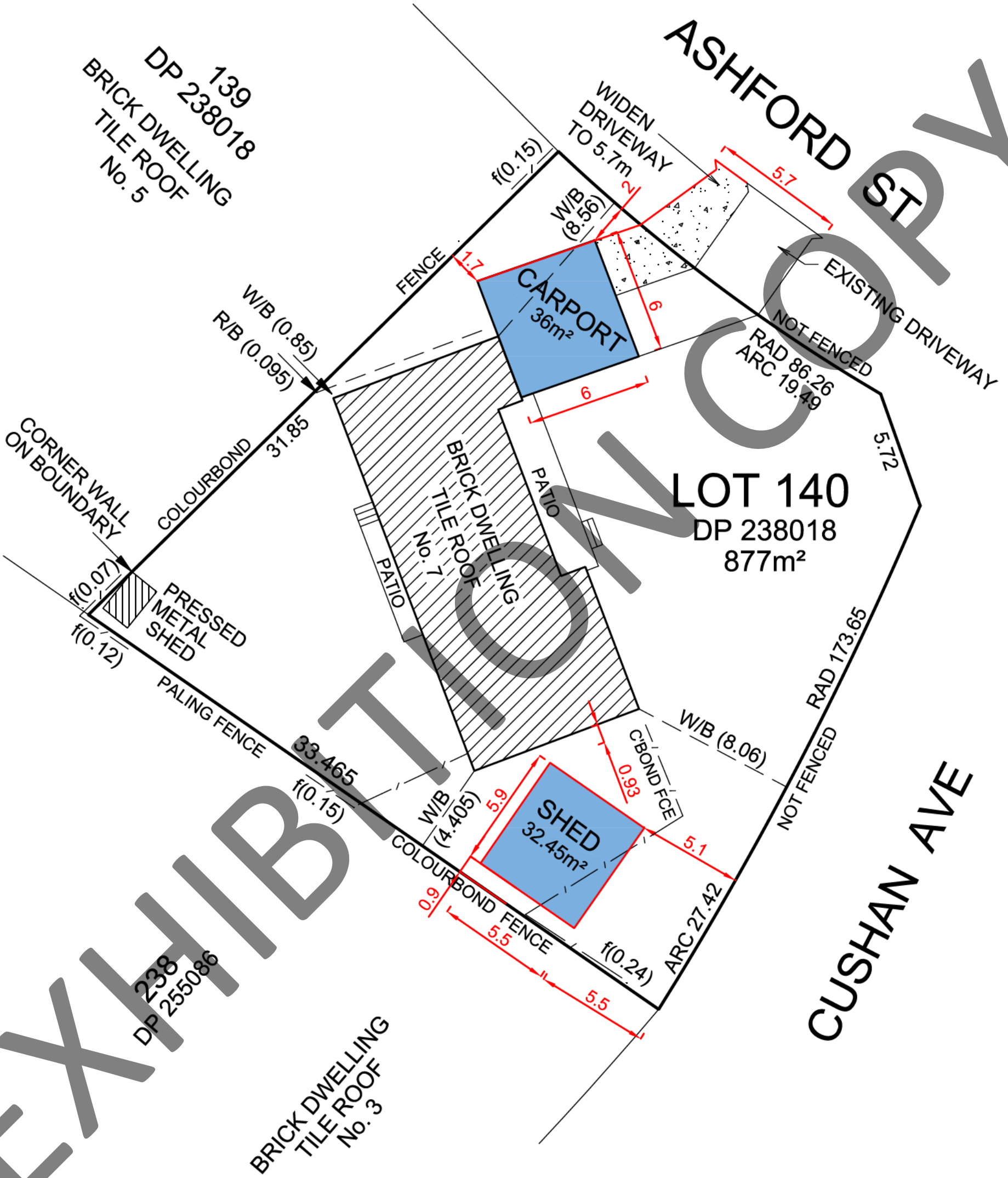
DRAWING NUMBER
RSP-3016

PAGE
2/2

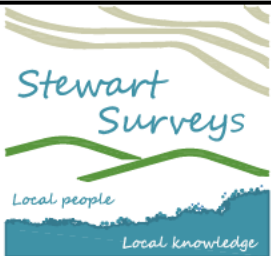
PLAN

FOR IDENTIFICATION
PURPOSES ONLY

L.G.A. OF GUNNEDAH
PARISH OF GUNNEDAH
COUNTY OF POTTINGER



REDUCTION RATIO
1:200



CLIENT:

BILL CASTLES

PROJECT:

7 ASHFORD STREET, GUNNEDAH

Date:

26 MAY 2025

File Ref:

6002

DESCRIPTION:

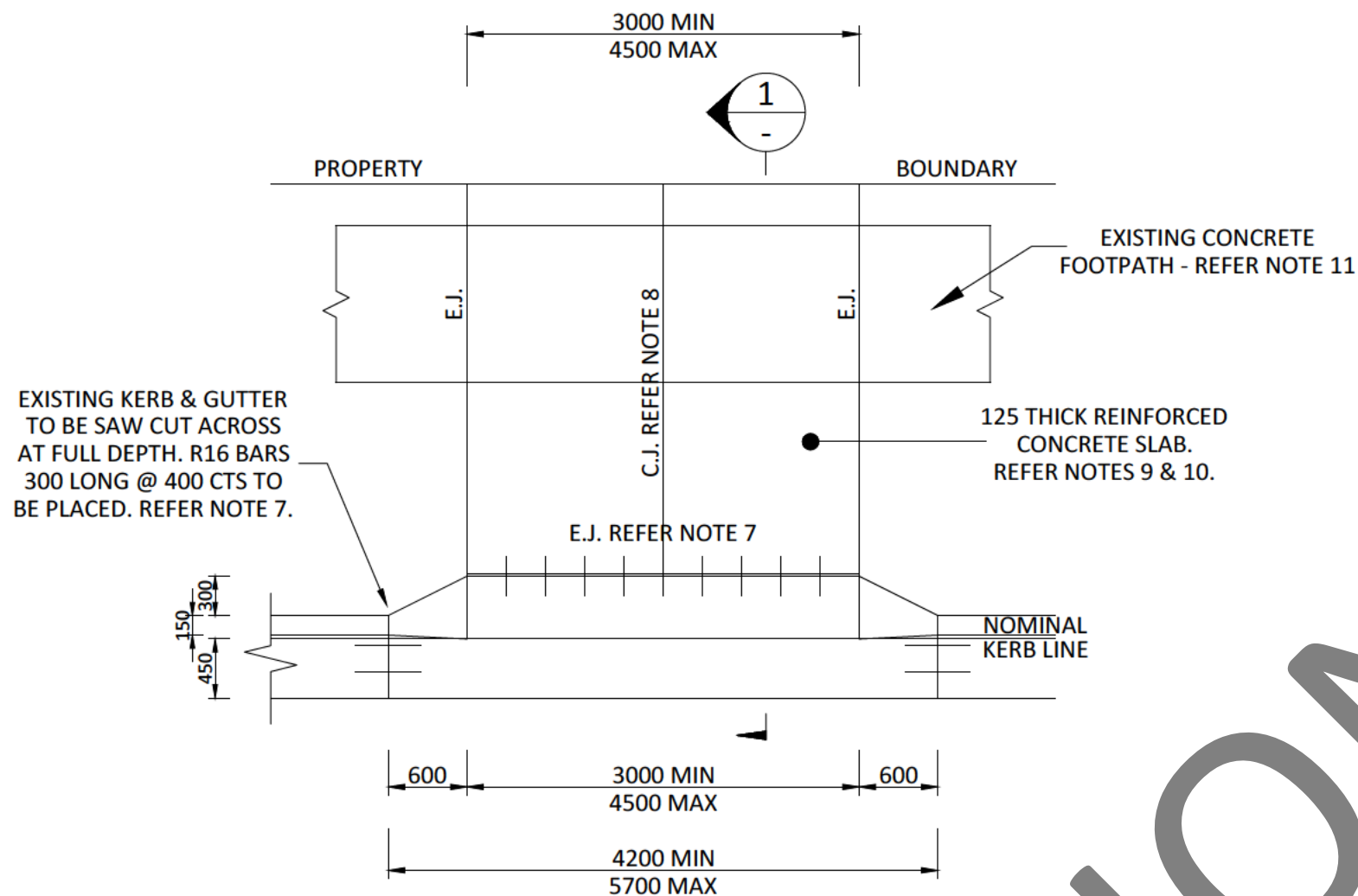
SITE PLAN FOR PROPOSED SHED
LOT140 DP238018
7 ASHFORD STREET, GUNNEDAH

Drawn: KJS

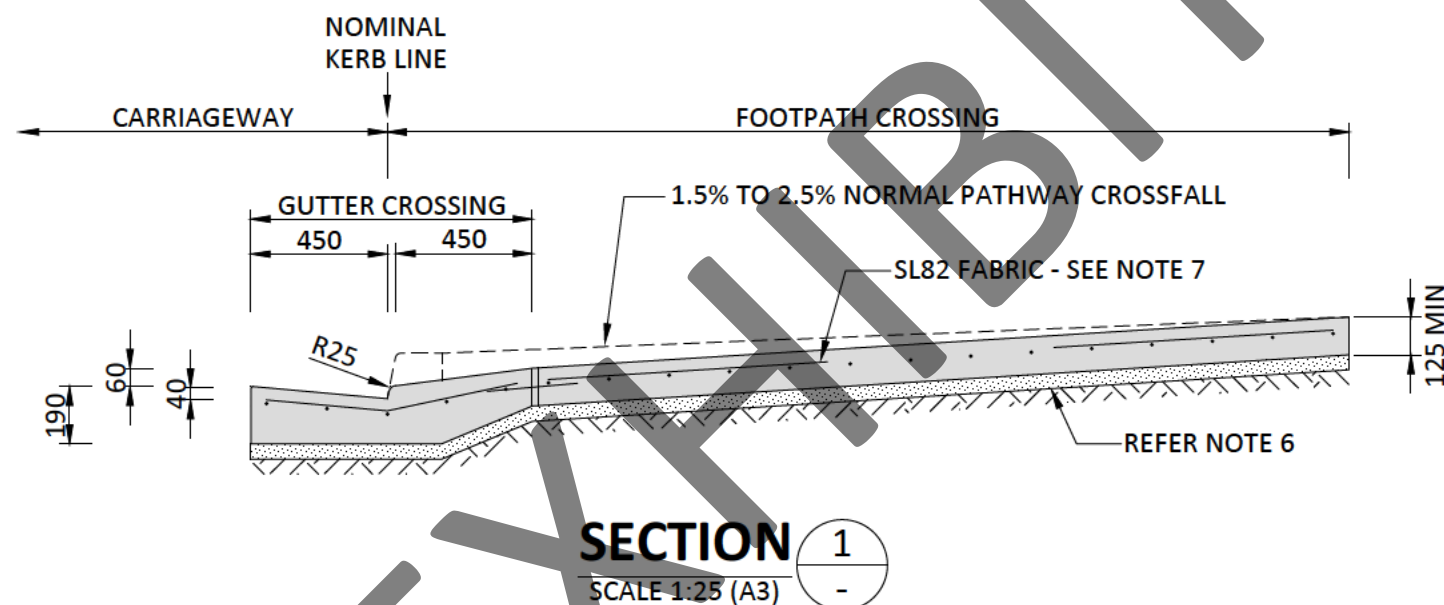
Scale:

1:200

Sheet:



PLAN
SCALE 1:50 (A3)



SECTION 1
-
SCALE 1:25 (A3)

NOTES:

1. A SECTION 138 APPROVAL IS REQUIRED BEFORE ANY WORK CAN COMMENCE IN COUNCIL'S ROAD RESERVE.
2. DIMENSIONS ARE MILLIMETRES UNLESS OTHERWISE SHOWN.
3. PROVISION FOR SERVICES UNDER SLAB TO BE INVESTIGATED PRIOR TO CONSTRUCTION. LODGE ENQUIRY VIA "BEFORE YOU DIG AUSTRALIA".
4. ANY EXISTING UN-USED CROSSINGS MUST BE REMOVED AND KERB & GUTTER, FOOTPATH AND NATURE STRIP REINSTATED TO COUNCIL'S SATISFACTION.
5. THE ENTRANCE IS GENERALLY TO BE CONSTRUCTED WITHIN THE ROAD RESERVE, AT AN ANGLE OF NINETY DEGREES (90°) TO THE CENTRE LINE OF THE ROAD. THIS MAY BE REDUCED TO A MINIMUM OF SEVENTY DEGREES (70°) WITH THE APPROVAL OF COUNCIL'S OFFICER.
6. COMPACT SUB-GRADE AND 50mm DEEP BASE COURSE OF APPROVED GRANULAR (FINE CRUSHED ROCK) MATERIAL TO 95% STANDARD COMPACTION.
7. PROVIDE EXPANSION JOINTS AT PROPERTY BOUNDARY, AGAINST LAYBACK AND ADJACENT TO FOOTPATHS. PROVIDE HOT DIPPED GALVANIZED R16 BARS 300MM LONG AT 300 CENTRES ALONG EXPANSION JOINT (EJ). PROVIDE BOND BREAK TO ONE HALF OF DOWEL.
8. PROVIDE SAW CUT CONTRACTION JOINT (CJ) CENTRALLY PLACED FOR DOUBLE DRIVEWAYS. .
9. RESIDENTIAL PATHWAY CROSSING TO BE MINIMUM 125mm THICK, SL82 REINFORCEMENT PLACED WITH 30-40mm TOP COVER.
10. SPECIFIED STRENGTH OF CONCRETE SHALL BE F'c 25MPa.
11. EXISTING CONCRETE FOOTPATH LESS THAN 125mm THICK, OR IN POOR CONDITION, SHALL BE REMOVED AND REPLACED. FOOTPATH 125mm OR THICKER IN GOOD CONDITION MAY BE RETAINED.
12. 65mm THICK CONCRETE OR CLAY PAVERS MAY BE PLACED IF DESIRED PROVIDED THEY ARE LAID ON A 20mm THICK 6:1 SAND CEMENT BEDDING ON A MINIMUM 100mm THICK REINFORCED (SL72) CONCRETE BASE.
13. DRIVEWAY SHALL HAVE A NON-SLIP FINISH, e.g. STEEL COVE, WOOD FLOAT OR BROOM FINISH.
14. REFER AS2890.1 OFF-STREET CAR PARKING STANDARD FOR VEHICLE CLEARANCE TEMPLATES.
15. IT IS PROPERTY OWNER'S RESPONSIBILITY TO REPAIR AND MAINTAIN THE DRIVEWAY/VEHICLE CROSSING TO THEIR LAND. REFER SEC 218 OF NSW ROADS ACT, 1993.

DRAWING FILE LOCATION / NAME: J:\CAD DESIGN CENTRE\STANDARD DRAWINGS\SD-107 A3.dwg						GDA		 <div>Gunnedah Shire Council</div>	GUNNEDAH SHIRE COUNCIL			FILE No.	-	No. OF SHEETS	-	SHEET No.	-
REVISION	DATE	DESCRIPTION	PLAN SCALE:	SURVEYED:	-	MGA ZONE			STANDARD DRAWING			PROJECT No.	-	DRAWING No.		REV.	
A	01/08/2023	REVISED DRAWING	AS SHOWN	DESIGNED:	-	-			VEHICLE ACCESS URBAN RESIDENTIAL			SD-107		A			
			HORIZONTAL SCALE:	DRAWN:	DA	-											
			VERTICAL SCALE:	CHECKED:	-	HEIGHT DATUM											
				ACCEPTED:	-	-											

ESTIMATED COST OF WORKS

1. GENERAL PROJECT INFORMATION

Development Application		
Applicants Name	Bill Castles	
Applicants Address		
Reference/DA/DD number	6002	
Date	30 May 2025	
Development Name	Enclosed Outbuilding (Shed) & Carport	
Development Address	7 Ashford Street, Gunnedah	
Description of Works	Construction of Shed & Outbuilding	

2. ESTIMATED COST OF WORKS – BASED ON WORKS COMPONENTS

Cost (applicant's genuine estimate)	
Enclosed Outbuilding (shed)	\$28,795.00
Carport	\$10,707.00
TOTAL	\$39,502.00

Refer attached quotes

More Than Garages

A trading unit of The Trustee for McDonnell
Family Trust

113 Gunnedah Rd TAMWORTH NSW
2340

ABN: 23959067631

Licence: 186900C

Date: 26/05/2025

Valid To: 25/06/2025

Contact:

Phone: 02 6765 5300

Email: sales@mtgtamworth.com.au

RANBUILD

Quote No. 3016

Dear Bill Castles

TO CONVERT THIS QUOTATION TO AN ORDER, PLEASE SIGN, DATE AND RETURN ONE ORIGINAL COPY INCLUDING A SIGNED COPY OF TERMS & CONDITIONS TOGETHER WITH THE NOMINATED DEPOSIT, AND A MAP GIVING DIRECTIONS TO THE PROPERTY.

Regards,

Product:	Deluxe Garage, 15° roof
Building Class:	10a
Building Site:	7 Ashford street , GUNNEDAH NSW 2380
Dimensions:	5900mm wide x 5500mm long x 2400mm eave.
Wind Code:	AS/NZS 1170.2:2021; Coastal distance: N/A
	Region: A1-A5; TC: 2.5; I.L: 2; Ms: 1.0; Mt: 1.0; Vsit: 39.2 m/s
Building Mass:	1,196 kg

10% Engineering deposit	\$1,449.00
Payment to commence manufacture	\$5,797.00
Final kit payment due 12 days prior to delivery	\$7,246.00
Cost of concrete work by More Than Garages	\$7,491.00
Cost of construction by More Than Garages	\$6,812.00
Total price of quote/order	\$28,795.00
includes GST	\$2,617.73

*** Council Fees and Home Owner Warranty Insurance are not included in this quote and will be charged out on a separate invoice if applicable.

*** If paying by direct deposit please use your surname and/or quote number as your reference.

ACCOUNT DETAILS: More Than Garages – BSB 062 684 – Account No 1007 5598.

I have read the details and the terms and conditions of the order and agree to place this order. By signing this document you are agreeing to all options and sizes listed on the subsequent pages. If correct colours are not chosen at time of signing contract, customer is to confirm their colours by email prior to manufacture payment.

Client Name:

Signature:

Date:



More Than Garages

A trading unit of The Trustee for McDonnell
Family Trust

113 Gunnedah Rd TAMWORTH NSW
2340

ABN: 23959067631

Licence: 186900C

Date: 26/05/2025

Valid To: 25/06/2025

Contact:

Phone: 02 6765 5300

Email: sales@mtgtamworth.com.au

RANBUILD

Quote No. 3016

The quoted price of \$28,795.00, detailed on the previous page, includes the following items for the building:

Item	Description	Colour	Qty	Init
Roof sheets	0.47tct Trimdek Profile, C/B (coloured screws)	Basalt	16	
Wall sheets	Horizontal, 0.47tct Corrugated Profile, C/B (coloured screws)	Classic Cream	22	
Partitions	None			
Gable Infill	None			
Barge flashing	Barge, Suit All Roof Pitch's Trimdek Profile C/B	Basalt	4	
Gutters	Gutter, Sheerline profile, slotted, C/B	Basalt	2	
Down pipes	Downpipe, 100x50 C/B	Classic Cream	2	
Insulation	Air-cell, Insulshed 30m2 Roll (roof only)		2	
Base Type	Cast in strap			
Roller door	B&D, Firmadoor, R.D, Residential "R1F", 2000 high x 2400 wide Clear Opening C/B	Basalt	2	
Access door	Larnec Dr & Frm Kit, 200/47, 2040 x 820 suit Horiz CO, 22 TS (D)	Classic Cream	1	
Window	AMI - Reg A & B, 790x1274 CLR, Window Kit Hori. Clad 22 TS (D)	Primrose	2	
Concrete	Provided by More Than Garages			
Construction	Provided by More Than Garages			
Delivery	Road transport.			

The following items are included in the quoted price:

Qty	Description	Colour	Length	Init
1	Construction of kit			
1	M/Class Concrete slab 5.5m x 5.9m (crusher dust has been included based on a clear, level site only)			
1	Concrete pump x 1			



More Than Garages

A trading unit of The Trustee for McDonnell
Family Trust

113 Gunnedah Rd TAMWORTH NSW
2340

ABN: 23959067631

Licence: 186900C

Date: 23/05/2025

Valid To: 22/06/2025

Contact:

Phone: 02 6765 5300

Email: sales@mtgtamworth.com.au

RANBUILD

Quote No. 3017

Dear Bill Castles

TO CONVERT THIS QUOTATION TO AN ORDER, PLEASE SIGN, DATE AND RETURN ONE ORIGINAL COPY INCLUDING A SIGNED COPY OF TERMS & CONDITIONS TOGETHER WITH THE NOMINATED DEPOSIT, AND A MAP GIVING DIRECTIONS TO THE PROPERTY.

Regards,

Product:

Building Class: 10a

Building Site: 7 Ashford street , GUNNEDAH NSW 2380

Dimensions: 6000mm wide x 6000mm long x 2600mm eave.

Wind Code: AS/NZS 1170.2:2021; Coastal distance: N/A
Region: A1-A5; TC: 2.5; I.L: 2; Ms: 1.0; Mt: 1.0; Vsit: 39.2 m/s

Building Mass: 578 kg

10% Engineering deposit	\$565.00
Payment to commence manufacture	\$2,261.00
Final kit payment due 12 days prior to delivery	\$2,825.00
Cost of concrete work by More Than Garages	\$2,400.00
Cost of construction by More Than Garages	\$2,656.00
Total price of quote/order	\$10,707.00
includes GST	\$973.37

*** Council Fees and Home Owner Warranty Insurance are not included in this quote and will be charged out on a separate invoice if applicable.

*** If paying by direct deposit please use your surname and/or quote number as your reference.

ACCOUNT DETAILS: More Than Garages – BSB 062 684 – Account No 1007 5598.

I have read the details and the terms and conditions of the order and agree to place this order. By signing this document you are agreeing to all options and sizes listed on the subsequent pages. If correct colours are not chosen at time of signing contract, customer is to confirm their colours by email prior to manufacture payment.

Client Name:

Signature:

Date:



Zincalume® Colorbond®



More Than Garages

A trading unit of The Trustee for McDonnell
Family Trust

113 Gunnedah Rd TAMWORTH NSW
2340

ABN: 23959067631

Licence: 186900C

Date: 23/05/2025

Valid To: 22/06/2025

Contact:

Phone: 02 6765 5300

Email: sales@mtgtamworth.com.au

RANBUILD

Quote No. 3017

The quoted price of \$10,707.00, detailed on the previous page, includes the following items for the building:

Item	Description	Colour	Qty	Init
Roof sheets	0.47tct Corrugated Profile, C/B (coloured screws)	Basalt	16	
Partitions	None			
Gable Infill	None			
Barge flashing	C150 Carport Capping, No. 165, Colorbond	Basalt	4	
Gutters	Gutter, Sheerline profile, slotted, C/B	Basalt	2	
Down pipes	Downpipe, 100x50 C/B	Basalt	2	
Base Type	Cast in column			
Concrete	Provided by More Than Garages			
Construction	Provided by More Than Garages			
Delivery	Road transport.			

The following items are included in the quoted price:

Qty	Description	Colour	Length	Init
1	Construction of kit			
1	M/Class Concrete Piers x 4			

